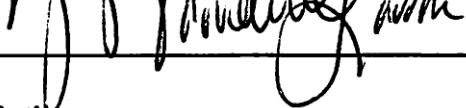


AGENDA PLACEMENT FORM

(Submission Deadline – Monday, 5:00 PM before Regular Court Meetings)

Date: July 18, 2025Meeting Date: July 28, 2025Submitted By: Julie EdmistonDepartment: Public Works

Signature of Elected Official/Department Head:



Description:

Consider Multiple Variance Requests for Proposed Subdivision The Retreat,
Phase 30, located in Precinct 1.

(May attach additional sheets if necessary)

Person to Present: Jennifer VanderLaan

(Presenter must be present for the item unless the item is on the Consent Agenda)

Supporting Documentation: (check one) ☒ PUBLIC ☐ CONFIDENTIAL

(PUBLIC documentation may be made available to the public prior to the Meeting)

Estimated Length of Presentation: 10 minutes

Session Requested: (check one)

☒ Action Item ☐ Consent ☐ Workshop ☐ Executive ☐ Other _____

Check All Departments That Have Been Notified:

☐ County Attorney ☐ IT ☐ Purchasing ☐ Auditor
☐ Personnel ☒ Public Works ☐ Facilities Management

Other Department/Official (list) _____

**Please List All External Persons Who Need a Copy of Signed Documents
In Your Submission Email**

Approved in CC on 9/11/2023

Court Decision:
This section to be completed by County Judge's Office




Johnson County Public Works Department

Jennifer VanderLaan / Director of Public Works

2 North Mill Street, Suite 305

Cleburne, Texas 76033

817-556-6380

VARIANCE REQUEST

Johnson County Subdivision Rules and Regulations outline what is required under the adopted Rules and Regulations. To request a variance for a deviation or exception to those Rules and Regulations for a lot or tract (ex: road frontage, etc.) please provide the following information.

Variance fee is \$120 per request. This request will be presented to the Commissioner's Court for their decision.

Name Double Diamond, Inc. Date 06-25-2025

Phone Number 214-706-7857

Email Address rgracy@ddresorts.com

Property Information for Variance Request:

Property 911 address 7725 F.M. 1434, Cleburne, Tx. 76033

Subdivision name The Retreat, Phase 30 Block Multiple Lot Multiple

Survey T. Sparks, SP RR Co, and T. Toby Abstract 820, 814, and 847 Acreage 16.889

Request Reduced pavement width, maximum gradient, utility easements/location, HDPE pipe, conveyance prior to electric install. See attachment for more detail.

Reason for request To maintain consistency and conformity to the "master plan" throughout the development. See

accompanying letter from the Engineer/Surveyor (Jessie J. Ince, P.E., R.P.L.S.) for specific items requested and justification.

Provide the following with this request:

- ☒ Copy of plat (if property has been platted)
- ☒ Copy of property deed
- ☐ Survey or drawing showing existing structures

184 Thousand Oaks Drive
Whitney, Texas 76692
254-694-7708
jessie01@windstream.net
Firm #10068000

Ince Surveying & Engineering

July 1, 2025

Mary Bullock
Johnson County
Public Works
2 N Mill St. Suite 305
Cleburne, Tx 76033

RE: The Retreat Phase 29
Variance requests

Dear Ms. Bullock,

Each of the items for which we need to request a variance are listed below with justification:

VARIANCE #1 - Minimum Pavement width of 22'

The Retreat is a resort community on over 3,000 acres, with over 2,800 lots having been platted over the last 25 years and several miles of roads which have been maintained by the Resort. The standard roadway section has been a 20' roadway which we have been showing on your construction plans since Phase 9. Typically, within the resort, the road subgrades are taken down to rock. When the subgrades are on expansive materials, we provide lime stabilization, which typically exceeds the Johnson County Requirement. With the very low occupancy (approximately 150 existing homes) the narrower width has not resulted in any known traffic related problems, and the trade-off between the reduced width verses the extra strength as Grayson County has approved, has served our maintenance responsibilities well in both the Retreat and the Rock Creek Resort in Grayson County. **We are requesting a variance reducing the pavement width to 20'.**

VARIANCE #2 – Maximum Roadway Gradient of 10%

The majority of the roadways in the Retreat are local streets whose primary function is to provide access to the adjacent residential lots. The rolling hills, bluffs and valleys of the Retreat make for a beautiful landscape and vistas, but give us challenges in meeting slope requirements. We have three locations where the 10% rule does not appear to add value to our project.

Along Hampton Point Lane from station 7+00 to 10+75, and along Westlake Road from station 3+00 to station 7+25 the natural grade exceeds 10%. To comply this with the 10% maximum gradient, you would have several lots where the buildable area for the homes will be more than 10' above or below the local street. Not only the costs to achieve the 10% gradient but the adjacent homeowner would be required to have steep and expensive driveways to access their homes. The variance appears to be the best method of overcoming the conflict between the steep slopes and affordable access to the lots and the proposed design has a maximum grade of 15% within the affected areas. Although we show a vertical curve tangent of 13% for computation purposes, the centerline tangent extends beyond the limits of the intersection return and the computed grades along Pine Valley Drive are less than 10%.

Portions of The Retreat Boulevard have steeper slopes than we are proposing here and have been privately maintained and provided valuable access to the development for at least 20 years. We would hope that this proven track record will encourage the Commission's support of our request for variance in these two locations.

.....

VARIANCE #3 - Utility Easements

The utility plan and layout for The Retreat is consistent across all Phases and has proven to be adequate, efficient, and to enhance the master plan for the development. We are requesting variances to:

- (a) reduce the utility and drainage easements along the front and rear of all lots from 15 feet to 10 feet.
- (b) place the water lines within the right of way.
- (c) not place the sewer lines under the middle of streets.

VARIANCE #4 - Use of HDPE Pipe for Storm Sewer culverts

The Retreat has been using HDPE pipe on most of their projects since 2015. Based on manufacturer's information the HDPE pipe, when properly bedded, will support more load, seals better and is more resistant to corrosion than the Corrugated Metal Pipe (CMP) specified in the Subdivision Ordinance. Double Diamond has found the HDPE pipes to be easier to handle, install and joint than CMP. Since they are responsible for the maintenance, they would prefer to continue the use of this material. We hope the Commission will consider the HDPE to be a support product and allow the continued use of this material for roadway culverts on this project.

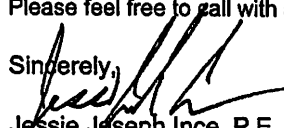
VARIANCE #5 – Conveyance of Lots prior to electric service installation

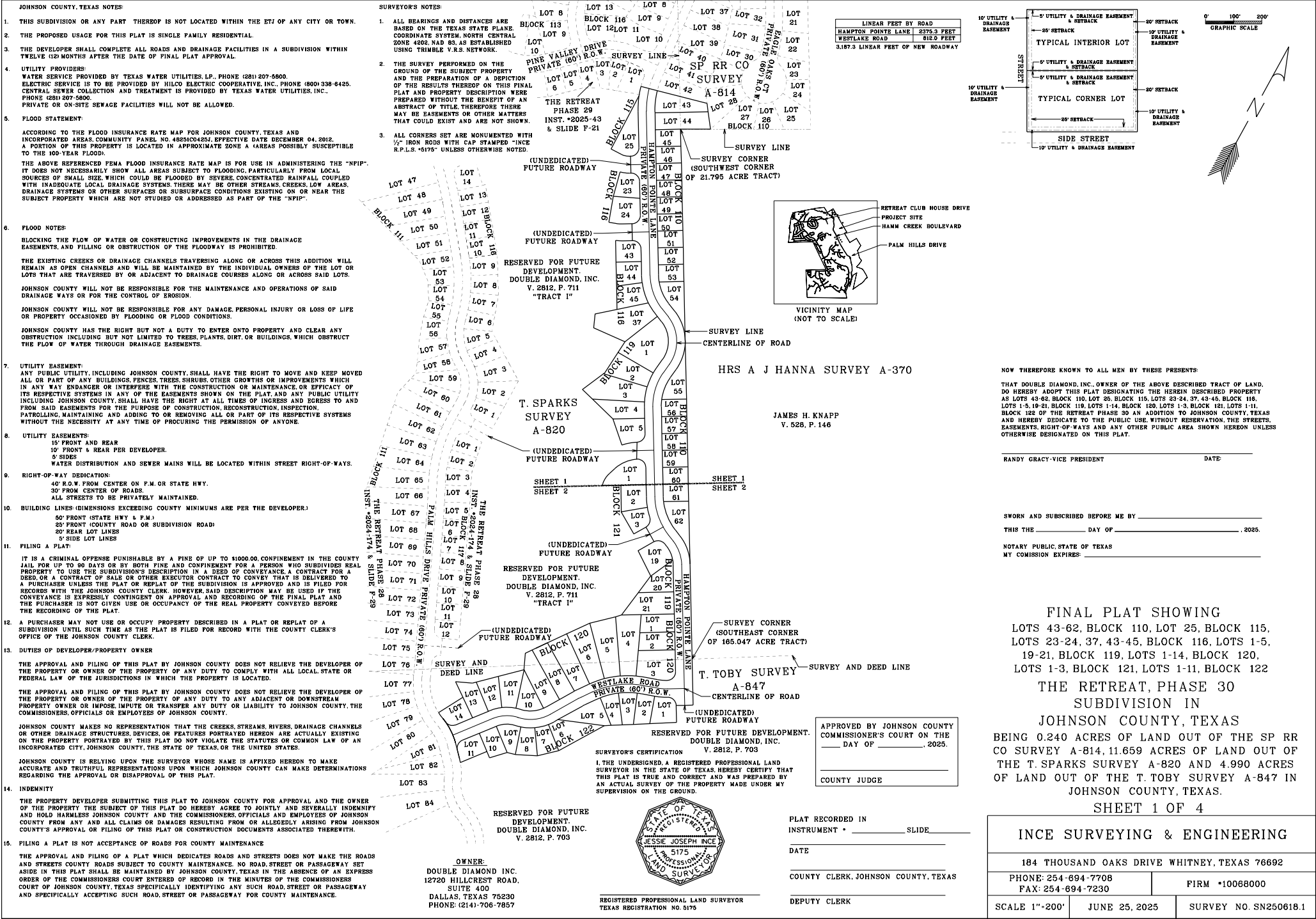
It is customary for rural electric companies to expand their lines as necessary to accommodate the infrastructure as building plans develop. Many areas will not see any construction for a considerable amount of time.

Phase 1 of The Retreat was approved by the Commissioners of Johnson County on May 14, 2002, and has been under development with a consistent "Master Plan" since that time. The design and layout of this Phase is consistent with that of the previous 28 Phases.

Please feel free to call with any questions.

Sincerely,


Jessie Joseph Ince, P.E., R.P.L.S.
Office: 254-694-7708
Cell: 254-602-2418



LEGAL DESCRIPTION:

Field notes for the survey of that certain lot, tract or parcel of land being 0.240 acres out of the SP RR CO Survey A-814, 11.659 acres out of the Thomas Sparks Survey A-820, and 4.990 acres out of the Thomas Toby Survey A-847 in Johnson County, Texas. Said land is a part of that certain 165.047 acre "Tract I" and a part of that certain 21.795 acre "Tract II" described in a deed from Thomas Hazelwood, Trustee to Double Diamond, Inc. recorded in Volume 2812, Page 711 and a part of that certain 475.234 acre tract described in a deed from Wells Fargo Bank Texas, N.A. to Double Diamond, Inc. recorded in Volume 2812, Page 703 of the Official Public Records of Johnson County, more particularly described as follows:

BEGINNING at a 1/2" iron rod found at a fence corner in the east line of said Sparks Survey and in the east line of said 165.047 acre tract for the northwest corner of the HRS A J Hanna Survey A-370, for the southwest corner of said SP RR CO Survey, for the northwest corner of that certain tract described in a deed to James H. Knapp recorded in Volume 528, Page 146 of the Deed Records of Johnson County, for the southwest corner of said 21.795 acre tract and for an inside ell corner of this:

THENCE S30°00'05"E, at 1883.25 feet passing a 1/2" iron rod set in the north line of said Toby Survey and in the north line of said 475.234 acre tract for the southwest corner of said Hanna Survey, for the southeast corner of said Sparks Survey, for the southwest corner of said Knapp tract, and for the southeast corner of said 165.047 acre tract, in all a distance of 2047.11 feet to a 1/2" iron rod set for the southeast corner of this;

THENCE S59°59'55"W 60.00 feet to a 1/2" iron rod set for an inside ell corner of this;

THENCE S30°00'05"E 60.00 feet to a 1/2" iron rod set for an outside ell corner of this;

THENCE the following courses and distances to 1/2" iron rods set:

S58°37'29"W 257.37 feet,
S32°29'01"W 184.68 feet,
S47°55'39"W 78.16 feet,
S64°24'19"W 78.16 feet,
S75°46'40"W 29.82 feet,
S44°24'50"W 66.04 feet,
N51°18'34"W 24.33 feet, and
S38°41'26"W 101.99 feet to a 1/2" iron rod set in the east line of Palm Hills Drive for the southwest corner of this;

THENCE with the east line of Palm Hills Drive and along a curve to the left having a radius of 220.25 feet, N40°54'00"W for a chord distance of 12.07 feet, an arc distance of 12.07 feet, to a 1/2" iron rod set for the end of said curve;

THENCE continuing with the east line of Palm Hills Drive, N42°42'55"W 58.79 feet to a point for the beginning of a curve to the left;

THENCE continuing with the east line of Palm Hills Drive and along said curve having a radius of 230.00 feet, N56°10'59"W for a chord distance of 98.35 feet, an arc distance of 99.11 feet, to a 1/2" iron rod set for the end of said curve and for the beginning of a curve to the right;

THENCE continuing with the east line of Palm Hills Drive and along said curve having a radius of 195.38 feet, N64°36'57"W for a chord distance of 26.48 feet, an arc distance of 26.50 feet to a 1/2" iron rod set for an outside ell corner of this;

THENCE the following courses and distances to 1/2" iron rods set:

N29°17'00"E 102.22 feet,
N54°14'33"W 60.97 feet,
N65°53'28"E 60.00 feet,
N46°47'34"E 190.30 feet,
N24°01'30"W 59.95 feet,
N36°16'34"E 251.62 feet,
N47°01'12"E 116.34 feet,
N07°54'44"E 174.06 feet,
N55°07'32"W 99.73 feet,
N31°50'03"E 64.11 feet,
N57°43'28"W 60.00 feet,
S31°50'03"W 49.05 feet,
N58°10'17"W 89.99 feet,
N29°59'59"W 94.50 feet,
S59°59'55"W 66.48 feet,

THENCE along a curve to the right having a radius of 138.23 feet, N09°11'24"W for a chord distance of 7.26 feet, an arc distance of 7.26 feet, to a 1/2" iron rod set for the end of said curve and for the beginning of another curve to the right;

THENCE along said curve having a radius of 90.00 feet, N04°37'15"E for a chord distance of 43.94 feet, an arc distance of 44.39 feet, to a 1/2" iron rod set for the end of said curve;

THENCE N18°46'33"E 24.45 feet to a 1/2" iron rod set for the beginning of a curve to the right having a radius of 130.00 feet;

THENCE along said curve, N37°53'44"E for a chord distance of 85.25 feet, an arc distance of 86.85 feet to a 1/2" iron rod set for the end of said curve;

THENCE N27°51'20"W 60.16 feet to a 1/2" iron rod set for the beginning of a curve to the left;

THENCE along said curve having a radius of 190.00 feet, S50°27'10"W for a chord distance of 54.25 feet, an arc distance of 54.43 feet, to a 1/2" iron rod set;

THENCE the following courses and distances to 1/2" iron rods set:

N47°45'42"W 98.33 feet,
N74°36'34"W 150.76 feet,
N24°33'08"E 98.43 feet,
N04°14'18"E 132.06 feet,
S85°07'27"W 121.65 feet,
N22°46'13"W 49.19 feet,
N49°18'59"E 79.49 feet, and
N30°00'05"W 245.12 feet;

THENCE along a curve to the left having a radius of 180.00 feet, N64°13'58"E for a chord distance of 26.66 feet, an arc distance of 26.69 feet, to a 1/2" iron rod set for the end of said curve;

THENCE N59°59'55"E 33.42 feet to a 1/2" iron rod set;

THENCE N30°00'05"W 60.00 feet to a 1/2" iron rod set;

THENCE S59°59'55"W 33.42 feet to a 1/2" iron rod set for the beginning of a curve to the right having a radius of 120.00 feet;

THENCE along said curve, S65°33'07"W for a chord distance of 23.24 feet, an arc distance of 23.28 feet, to a 1/2" iron rod set for the end of said curve;

THENCE S71°06'40"W 26.75 feet to a 1/2" iron rod set;

THENCE N18°53'29"W 93.27 feet to a 1/2" iron rod set;

THENCE N13°13'32"W 90.00 feet to a 1/2" iron rod set for the beginning of a curve to the left having a radius of 120.00 feet;

THENCE along said curve, S68°22'30"W for a chord distance of 35.00 feet, an arc distance of 35.13 feet, to a 1/2" iron rod set for the end of said curve;

THENCE N59°59'55"E 4.22 feet to a 1/2" iron rod set;

THENCE N30°00'05"W 60.00 feet to a 1/2" iron rod set;

THENCE S59°59'55"W 4.22 feet to a 1/2" iron rod set for the beginning of a curve to the right having a radius of 60.00 feet;

THENCE along said curve, S74°25'03"W for a chord distance of 29.89 feet, an arc distance of 30.20 feet, to a 1/2" iron rod set for the end of said curve;

THENCE S88°50'35"W 40.61 feet to a 1/2" iron rod set;

THENCE N01°29'37"W 218.53 feet to a 1/2" iron rod with cap stamped "INCE RPLS #5175" found for the southeast corner of Lot 1, Block 115 of The Retreat Phase 29 according to plat recorded in Slide F-21 of the Official Plat Records of Johnson County;

THENCE along a curve to the right having a radius of 330.00 feet, N16°55'36"W for a chord distance of 29.14 feet, an arc distance of 29.15 feet to a 1/2" iron rod with cap stamped "INCE RPLS #5175" found for the northwest corner of this;

THENCE N79°35'27"E 242.46 feet to a 1/2" iron rod with cap stamped "INCE RPLS #5175" found for the southeast corner of Lot 42, Block 110 of said Phase 29 and for the northeast corner of this;

THENCE S36°16'06"E 92.79 feet to a 1/2" iron rod with cap stamped "INCE RPLS #5175" found in the south line of said 21.795 acre tract and in the north line of said Knapp tract for the southwest corner of Lot 28, Block 110 of said Phase 29 and for an outside ell corner of this;

THENCE S61°14'01"W 105.84 feet to the place of beginning, containing 16.889 acres of land.

APPROVED BY JOHNSON COUNTY
COMMISSIONER'S COURT ON THE
____ DAY OF _____, 2025.

COUNTY JUDGE

PLAT RECORDED IN
INSTRUMENT # _____ SLIDE _____

DATE

COUNTY CLERK, JOHNSON COUNTY, TEXAS

DEPUTY CLERK

OWNER:
DOUBLE DIAMOND INC.
12720 HILLCREST ROAD,
SUITE 400
DALLAS, TEXAS 75230
PHONE: (214)-706-7857

FINAL PLAT SHOWING

LOTS 43-62, BLOCK 110, LOT 25, BLOCK 115,
LOTS 23-24, 37, 43-45, BLOCK 116, LOTS 1-5,
19-21, BLOCK 119, LOTS 1-14, BLOCK 120,
LOTS 1-3, BLOCK 121, LOTS 1-11, BLOCK 122

THE RETREAT, PHASE 30
SUBDIVISION IN
JOHNSON COUNTY, TEXAS

BEING 0.240 ACRES OF LAND OUT OF THE SP RR
CO SURVEY A-814, 11.659 ACRES OF LAND OUT OF
THE T. SPARKS SURVEY A-820 AND 4.990 ACRES
OF LAND OUT OF THE T. TOBY SURVEY A-847 IN
JOHNSON COUNTY, TEXAS.

SHEET 2 OF 4

INCE SURVEYING & ENGINEERING

184 THOUSAND OAKS DRIVE WHITNEY, TEXAS 76692

PHONE: 254-694-7708
FAX: 254-694-7230

FIRM #10068000

SCALE 1"=200'

JUNE 25, 2025

SURVEY NO. SN250618.1



REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5175

SURVEYOR'S NOTES:

- ALL BEARINGS AND DISTANCES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 400E, HAD BE AS ESTABLISHED USING TRIMBLE V.R.S. NETWORK.
- THE SURVEY PERFORMED ON THE GROUND OF THE SUBJECT PROPERTY AND THE PREPARATION OF A DEPICTION OF THE RESULTS THEREOF ON THIS FINAL PLAT AND PROPERTY DESCRIPTION WERE PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THEREFORE THERE MAY BE EASEMENTS OR OTHER MATTERS THAT COULD EXIST AND ARE NOT SHOWN.
- ALL CORNERS SET ARE MONUMENTED WITH 1/2" IRON RODS WITH CAP STAMPED "INCE R.P.L.S. #5175" UNLESS OTHERWISE NOTED.

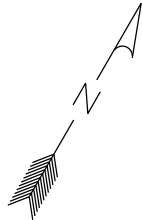
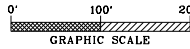
SURVEYOR'S CERTIFICATION

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED BY AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

CURVE	CHORD BEARING	CHORD	ARC	RADIUS
C1	S22°12'28"E	81.41'	81.68'	300.00'
C2	N14°59'57"E	42.43'	47.12'	30.00'
C3	S74°25'03"W	29.89'	30.20'	60.00'
C4	N68°22'30"E	35.00'	35.13'	120.00'
C5	S75°00'20"E	42.43'	47.13'	30.00'
C6	N14°59'57"E	42.43'	47.12'	30.00'
C7	S65°33'07"W	23.24'	23.28'	120.00'
C8	N64°13'58"E	26.66'	26.69'	180.00'
C9	S75°00'27"E	42.43'	47.12'	30.00'
C10	S48°28'08"E	126.49'	128.70'	200.00'
C11	S30°00'01"E	169.50'	181.79'	141.25'
C12	S11°33'57"E	126.49'	128.70'	200.00'
C13	N14°19'52"E	41.93'	46.43'	30.00'
C14	S50°27'10"W	54.25'	54.43'	190.00'
C15	N76°29'03"W	43.52'	48.68'	30.00'
C16	N37°53'44"E	85.25'	86.85'	130.00'
C17	N04°37'15"E	43.94'	44.39'	90.00'
C18	N09°11'24"W	7.26'	7.26'	138.23'
C35	N16°53'36"W	29.14'	29.15'	330.00'
C36	N24°43'59"W	60.58'	60.67'	330.00'
C37	N22°12'13"W	73.27'	73.50'	270.00'

LINE	BEARING	DISTANCE
L1	S59°59'55"W	60.00'
L2	S59°59'55"W	60.00'
L3	S59°59'55"W	60.42'

T. SPARKS SURVEY A-820



NORTHING: 8762444.66
EASTING: 2279661.99

(UNDEDICATED) FUTURE ROADWAY

(UNDEDICATED) FUTURE ROADWAY

RESERVED FOR FUTURE DEVELOPMENT. DOUBLE DIAMOND, INC. V. 2812, P. 711 "TRACT 1"

(UNDEDICATED) FUTURE ROADWAY

(UNDEDICATED) FUTURE ROADWAY

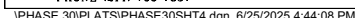
SHEET 1
SHEET 2

T. SPARKS SURVEY A-820

HRS A J HANNA SURVEY A-370

NOW THEREFORE KNOWN TO ALL MEN BY THESE PRESENTS:

THAT DOUBLE DIAMOND, INC., OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN DESCRIBED PROPERTY AS LOTS 1-5, BLOCK 110, LOTS 1-11, BLOCK 111, LOTS 1-14, BLOCK 112, LOTS 1-17, BLOCK 113, LOTS 1-19, BLOCK 114, LOTS 1-21, BLOCK 115, LOTS 1-23, BLOCK 116, LOTS 1-25, BLOCK 117, LOTS 1-27, BLOCK 118, LOTS 1-29, BLOCK 119, LOTS 1-31, BLOCK 120, LOTS 1-33, BLOCK 121, LOTS 1-35, BLOCK 122, LOTS 1-37, BLOCK 123, LOTS 1-39, BLOCK 124, LOTS 1-41, BLOCK 125, LOTS 1-43, BLOCK 126, LOTS 1-45, BLOCK 127, LOTS 1-47, BLOCK 128, LOTS 1-49, BLOCK 129, LOTS 1-51, BLOCK 130, LOTS 1-53, BLOCK 131, LOTS 1-55, BLOCK 132, LOTS 1-57, BLOCK 133, LOTS 1-59, BLOCK 134, LOTS 1-61, BLOCK 135, LOTS 1-63, BLOCK 136, LOTS 1-65, BLOCK 137, LOTS 1-67, BLOCK 138, LOTS 1-69, BLOCK 139, LOTS 1-71, BLOCK 140, LOTS 1-73, BLOCK 141, LOTS 1-75, BLOCK 142, LOTS 1-77, BLOCK 143, LOTS 1-79, BLOCK 144, LOTS 1-81, BLOCK 145, LOTS 1-83, BLOCK 146, LOTS 1-85, BLOCK 147, LOTS 1-87, BLOCK 148, LOTS 1-89, BLOCK 149, LOTS 1-91, BLOCK 150, LOTS 1-93, BLOCK 151, LOTS 1-95, BLOCK 152, LOTS 1-97, BLOCK 153, LOTS 1-99, BLOCK 154, LOTS 1-101, BLOCK 155, LOTS 1-103, BLOCK 156, LOTS 1-105, BLOCK 157, LOTS 1-107, BLOCK 158, LOTS 1-109, BLOCK 159, LOTS 1-111, BLOCK 160, LOTS 1-113, BLOCK 161, LOTS 1-115, BLOCK 162, LOTS 1-117, BLOCK 163, LOTS 1-119, BLOCK 164, LOTS 1-121, BLOCK 165, LOTS 1-123, BLOCK 166, LOTS 1-125, BLOCK 167, LOTS 1-129, BLOCK 168, LOTS 1-131, BLOCK 169, LOTS 1-133, BLOCK 170, LOTS 1-135, BLOCK 171, LOTS 1-137, BLOCK 172, LOTS 1-139, BLOCK 173, LOTS 1-141, BLOCK 174, LOTS 1-143, BLOCK 175, LOTS 1-145, BLOCK 176, LOTS 1-147, BLOCK 177, LOTS 1-149, BLOCK 178, LOTS 1-151, BLOCK 179, LOTS 1-153, BLOCK 180, LOTS 1-155, BLOCK 181, LOTS 1-157, BLOCK 182, LOTS 1-159, BLOCK 183, LOTS 1-161, BLOCK 184, LOTS 1-163, BLOCK 185, LOTS 1-165, BLOCK 186, LOTS 1-167, BLOCK 187, LOTS 1-169, BLOCK 188, LOTS 1-171, BLOCK 189, LOTS 1-173, BLOCK 190, LOTS 1-175, BLOCK 191, LOTS 1-177, BLOCK 192, LOTS 1-179, BLOCK 193, LOTS 1-181, BLOCK 194, LOTS 1-183, BLOCK 195, LOTS 1-185, BLOCK 196, LOTS 1-187, BLOCK 197, LOTS 1-189, BLOCK 198, LOTS 1-191, BLOCK 199, LOTS 1-193, BLOCK 200, LOTS 1-195, BLOCK 201, LOTS 1-197, BLOCK 202, LOTS 1-199, BLOCK 203, LOTS 1-201, BLOCK 204, LOTS 1-203, BLOCK 205, LOTS 1-205, BLOCK 206, LOTS 1-207, BLOCK 207, LOTS 1-209, BLOCK 208, LOTS 1-211, BLOCK 209, LOTS 1-213, BLOCK 210, LOTS 1-215, BLOCK 211, LOTS 1-217, BLOCK 212, LOTS 1-219, BLOCK 213, LOTS 1-221, BLOCK 214, LOTS 1-223, BLOCK 215, LOTS 1-225, BLOCK 216, LOTS 1-227, BLOCK 217, LOTS 1-229, BLOCK 218, LOTS 1-231, BLOCK 219, LOTS 1-233, BLOCK 220, LOTS 1-235, BLOCK 221, LOTS 1-237, BLOCK 222, LOTS 1-239, BLOCK 223, LOTS 1-241, BLOCK 224, LOTS 1-243, BLOCK 225, LOTS 1-245, BLOCK 226, LOTS 1-247, BLOCK 227, LOTS 1-249, BLOCK 228, LOTS 1-251, BLOCK 229, LOTS 1-253, BLOCK 230, LOTS 1-255, BLOCK 231, LOTS 1-257, BLOCK 232, LOTS 1-259, BLOCK 233, LOTS 1-261, BLOCK 234, LOTS 1-263, BLOCK 235, LOTS 1-265, BLOCK 236, LOTS 1-267, BLOCK 237, LOTS 1-269, BLOCK 238, LOTS 1-271, BLOCK 239, LOTS 1-273, BLOCK 240, LOTS 1-275, BLOCK 241, LOTS 1-277, BLOCK 242, LOTS 1-279, BLOCK 243, LOTS 1-281, BLOCK 244, LOTS 1-283, BLOCK 245, LOTS 1-285, BLOCK 246, LOTS 1-287, BLOCK 247, LOTS 1-289, BLOCK 248, LOTS 1-291, BLOCK 249, LOTS 1-293, BLOCK 250, LOTS 1-295, BLOCK 251, LOTS 1-297, BLOCK 252, LOTS 1-299, BLOCK 253, LOTS 1-301, BLOCK 254, LOTS 1-303, BLOCK 255, LOTS 1-305, BLOCK 256, LOTS 1-307, BLOCK 257, LOTS 1-309, BLOCK 258, LOTS 1-311, BLOCK 259, LOTS 1-313, BLOCK 260, LOTS 1-315, BLOCK 261, LOTS 1-317, BLOCK 262, LOTS 1-319, BLOCK 263, LOTS 1-321, BLOCK 264, LOTS 1-323, BLOCK 265, LOTS 1-325, BLOCK 266, LOTS 1-327, BLOCK 267, LOTS 1-329, BLOCK 268, LOTS 1-331, BLOCK 269, LOTS 1-333, BLOCK 270, LOTS 1-335, BLOCK 271, LOTS 1-337, BLOCK 272, LOTS 1-339, BLOCK 273, LOTS 1-341, BLOCK 274, LOTS 1-343, BLOCK 275, LOTS 1-345, BLOCK 276, LOTS 1-347, BLOCK 277, LOTS 1-349, BLOCK 278, LOTS 1-351, BLOCK 279, LOTS 1-353, BLOCK 280, LOTS 1-355, BLOCK 281, LOTS 1-357, BLOCK 282, LOTS 1-359, BLOCK 283, LOTS 1-361, BLOCK 284, LOTS 1-363, BLOCK 285, LOTS 1-365, BLOCK 286, LOTS 1-367, BLOCK 287, LOTS 1-369, BLOCK 288, LOTS 1-371, BLOCK 289, LOTS 1-373, BLOCK 290, LOTS 1-375, BLOCK 291, LOTS 1-377, BLOCK 292, LOTS 1-379, BLOCK 293, LOTS 1-381, BLOCK 294, LOTS 1-383, BLOCK 295, LOTS 1-385, BLOCK 296, LOTS 1-387, BLOCK 297, LOTS 1-389, BLOCK 298, LOTS 1-391, BLOCK 299, LOTS 1-393, BLOCK 300, LOTS 1-395, BLOCK 301, LOTS 1-397, BLOCK 302, LOTS 1-399, BLOCK 303, LOTS 1-401, BLOCK 304, LOTS 1-403, BLOCK 305, LOTS 1-405, BLOCK 306, LOTS 1-407, BLOCK 307, LOTS 1-409, BLOCK 308, LOTS 1-411, BLOCK 309, LOTS 1-413, BLOCK 310, LOTS 1-415, BLOCK 311, LOTS 1-417, BLOCK 312, LOTS 1-419, BLOCK 313, LOTS 1-421, BLOCK 314, LOTS 1-423, BLOCK 315, LOTS 1-425, BLOCK 316, LOTS 1-427, BLOCK 317, LOTS 1-429, BLOCK 318, LOTS 1-431, BLOCK 319, LOTS 1-433, BLOCK 320, LOTS 1-435, BLOCK 321, LOTS 1-437, BLOCK 322, LOTS 1-439, BLOCK 323, LOTS 1-441, BLOCK 324, LOTS 1-443, BLOCK 325, LOTS 1-445, BLOCK 326, LOTS 1-447, BLOCK 327, LOTS 1-449, BLOCK 328, LOTS 1-451, BLOCK 329, LOTS 1-453, BLOCK 330, LOTS 1-455, BLOCK 331, LOTS 1-457, BLOCK 332, LOTS 1-459, BLOCK 333, LOTS 1-461, BLOCK 334, LOTS 1-463, BLOCK 335, LOTS 1-465, BLOCK 336, LOTS 1-467, BLOCK 337, LOTS 1-469, BLOCK 338, LOTS 1-471, BLOCK 339, LOTS 1-473, BLOCK 340, LOTS 1-475, BLOCK 341, LOTS 1-477, BLOCK 342, LOTS 1-479, BLOCK 343, LOTS 1-481, BLOCK 344, LOTS 1-483, BLOCK 345, LOTS 1-485, BLOCK 346, LOTS 1-487, BLOCK 347, LOTS 1-489, BLOCK 348, LOTS 1-491, BLOCK 349, LOTS 1-493, BLOCK 350, LOTS 1-495, BLOCK 351, LOTS 1-497, BLOCK 352, LOTS 1-499, BLOCK 353, LOTS 1-501, BLOCK 354, LOTS 1-503, BLOCK 355, LOTS 1-505, BLOCK 356, LOTS 1-507, BLOCK 357, LOTS 1-509, BLOCK 358, LOTS 1-511, BLOCK 359, LOTS 1-513, BLOCK 360, LOTS 1-515, BLOCK 361, LOTS 1-517, BLOCK 362, LOTS 1-519, BLOCK 363, LOTS 1-521, BLOCK 364, LOTS 1-523, BLOCK 365, LOTS 1-525, BLOCK 366, LOTS 1-527, BLOCK 367, LOTS 1-529, BLOCK 368, LOTS 1-531, BLOCK 369, LOTS 1-533, BLOCK 370, LOTS 1-535, BLOCK 371, LOTS 1-537, BLOCK 372, LOTS 1-539, BLOCK 373, LOTS 1-541, BLOCK 374, LOTS 1-543, BLOCK 375, LOTS 1-545, BLOCK 376, LOTS 1-547, BLOCK 377, LOTS 1-549, BLOCK 378, LOTS 1-551, BLOCK 379, LOTS 1-553, BLOCK 380, LOTS 1-555, BLOCK 381, LOTS 1-557, BLOCK 382, LOTS 1-559, BLOCK 383, LOTS 1-561, BLOCK 384, LOTS 1-563, BLOCK 385, LOTS 1-565, BLOCK 386, LOTS 1-567, BLOCK 387, LOTS 1-569, BLOCK 388, LOTS 1-571, BLOCK 389, LOTS 1-573, BLOCK 390, LOTS 1-575, BLOCK 391, LOTS 1-577, BLOCK 392, LOTS 1-579, BLOCK 393, LOTS 1-581, BLOCK 394, LOTS 1-583, BLOCK 395, LOTS 1-585, BLOCK 396, LOTS 1-587, BLOCK 397, LOTS 1-589, BLOCK 398, LOTS 1-591, BLOCK 399, LOTS 1-593, BLOCK 400, LOTS 1-595, BLOCK 401, LOTS 1-597, BLOCK 402, LOTS 1-599, BLOCK 403, LOTS 1-601, BLOCK 404, LOTS 1-603, BLOCK 405, LOTS 1-605, BLOCK 406, LOTS 1-607, BLOCK 407, LOTS 1-609, BLOCK 408, LOTS 1-611, BLOCK 409, LOTS 1-613, BLOCK 410, LOTS 1-615, BLOCK 411, LOTS 1-617, BLOCK 412, LOTS 1-619, BLOCK 413, LOTS 1-621, BLOCK 414, LOTS 1-623, BLOCK 415, LOTS 1-625, BLOCK 416, LOTS 1-627, BLOCK 417, LOTS 1-629, BLOCK 418, LOTS 1-631, BLOCK 419, LOTS 1-633, BLOCK 420, LOTS 1-635, BLOCK 421, LOTS 1-637, BLOCK 422, LOTS 1-639, BLOCK 423, LOTS 1-641, BLOCK 424, LOTS 1-643, BLOCK 425, LOTS 1-645, BLOCK 426, LOTS 1-647, BLOCK 427, LOTS 1-649, BLOCK 428, LOTS 1-651, BLOCK 429, LOTS 1-653, BLOCK 430, LOTS 1-655, BLOCK 431, LOTS 1-657, BLOCK 432, LOTS 1-659, BLOCK 433, LOTS 1-661, BLOCK 434, LOTS 1-663, BLOCK 435, LOTS 1-665, BLOCK 436, LOTS 1-667, BLOCK 437, LOTS 1-669, BLOCK 438, LOTS 1-671, BLOCK 439, LOTS 1-673, BLOCK 440, LOTS 1-675, BLOCK 441, LOTS 1-677, BLOCK 442, LOTS 1-679, BLOCK 443, LOTS 1-681, BLOCK 444, LOTS 1-683, BLOCK 445, LOTS 1-685, BLOCK 446, LOTS 1-687, BLOCK 447, LOTS 1-689, BLOCK 448, LOTS 1-691, BLOCK 449, LOTS 1-693, BLOCK 450, LOTS 1-695, BLOCK 451, LOTS 1-697, BLOCK 452, LOTS 1-699, BLOCK 453, LOTS 1-701, BLOCK 454, LOTS 1-703, BLOCK 455, LOTS 1-705, BLOCK 456, LOTS 1-707, BLOCK 457, LOTS 1-709, BLOCK 458, LOTS 1-711, BLOCK 459, LOTS 1-713, BLOCK 460, LOTS 1-715, BLOCK 461, LOTS 1-717, BLOCK 462, LOTS 1-719, BLOCK 463, LOTS 1-721, BLOCK 464, LOTS 1-723, BLOCK 465, LOTS 1-725, BLOCK 466, LOTS 1-727, BLOCK 467, LOTS 1-729, BLOCK 468, LOTS 1-731, BLOCK 469, LOTS 1-733, BLOCK 470, LOTS 1-735, BLOCK 471, LOTS 1-737, BLOCK 472, LOTS 1-739, BLOCK 473, LOTS 1-741, BLOCK 474, LOTS 1-743, BLOCK 475, LOTS 1-745, BLOCK 476, LOTS 1-747, BLOCK 477, LOTS 1-749, BLOCK 478, LOTS 1-751, BLOCK 479, LOTS 1-753, BLOCK 480, LOTS 1-755, BLOCK 481, LOTS 1-757, BLOCK 482, LOTS 1-759, BLOCK 483, LOTS 1-761, BLOCK 484, LOTS 1-763, BLOCK 485, LOTS 1-765, BLOCK 486, LOTS 1-767, BLOCK 487, LOTS 1-769, BLOCK 488, LOTS 1-771, BLOCK 489, LOTS 1-773, BLOCK 490, LOTS 1-775, BLOCK 491, LOTS 1-777, BLOCK 492, LOTS 1-779, BLOCK 493, LOTS 1-781, BLOCK 494, LOTS 1-783, BLOCK 495, LOTS 1-785, BLOCK 496, LOTS 1-787, BLOCK 497, LOTS 1-789, BLOCK 498, LOTS 1-791, BLOCK 499, LOTS 1-793, BLOCK 500, LOTS 1-795, BLOCK 501, LOTS 1-797, BLOCK 502, LOTS 1-799, BLOCK 503, LOTS 1-801, BLOCK 504, LOTS 1-803, BLOCK 505, LOTS 1-805, BLOCK 506, LOTS 1-807, BLOCK 507, LOTS 1-809, BLOCK 508, LOTS 1-811, BLOCK 509, LOTS 1-813, BLOCK 510, LOTS 1-815, BLOCK 511, LOTS 1-817, BLOCK 512, LOTS 1-819, BLOCK 513, LOTS 1-821, BLOCK 514, LOTS 1-823, BLOCK 515, LOTS 1-825, BLOCK 516, LOTS 1-827, BLOCK 517, LOTS 1-829, BLOCK 518, LOTS 1-831, BLOCK 519, LOTS 1-833, BLOCK 520, LOTS 1-835, BLOCK 521, LOTS 1-837, BLOCK 522, LOTS 1-839, BLOCK 523, LOTS 1-841, BLOCK 524, LOTS 1-843, BLOCK 525, LOTS 1-845, BLOCK 526, LOTS 1-847, BLOCK 527, LOTS 1-849, BLOCK 528, LOTS 1-851, BLOCK 529, LOTS 1-853, BLOCK 530, LOTS 1-855, BLOCK 531, LOTS 1-857, BLOCK 532, LOTS 1-859, BLOCK 533, LOTS 1-861, BLOCK 534, LOTS 1-863, BLOCK 535, LOTS 1-865, BLOCK 536, LOTS 1-867, BLOCK 537, LOTS 1-869, BLOCK 538, LOTS 1-871, BLOCK 539, LOTS 1-873, BLOCK 540, LOTS 1-875, BLOCK 541, LOTS 1-877, BLOCK 542, LOTS 1-879, BLOCK 543, LOTS 1-881, BLOCK 544, LOTS 1-883, BLOCK 545, LOTS 1-885, BLOCK 546, LOTS 1-887, BLOCK 547, LOTS 1-889, BLOCK 548, LOTS 1-891, BLOCK 549, LOTS 1-893, BLOCK 550, LOTS 1-895, BLOCK 551, LOTS 1-897, BLOCK 552, LOTS 1-899, BLOCK 553, LOTS 1-901, BLOCK 554, LOTS 1-903, BLOCK 555, LOTS 1-905, BLOCK 556, LOTS 1-907, BLOCK 557, LOTS 1-909, BLOCK 558, LOTS 1-911, BLOCK 559, LOTS 1-913, BLOCK 560, LOTS 1-915, BLOCK 561, LOTS 1-917, BLOCK 562, LOTS 1-919, BLOCK 563, LOTS 1-921, BLOCK 564, LOTS 1-923, BLOCK 565, LOTS 1-925, BLOCK 566, LOTS 1-927, BLOCK 567, LOTS 1-929, BLOCK 568, LOTS 1-931, BLOCK 569, LOTS 1-933, BLOCK 570, LOTS 1-935, BLOCK 571, LOTS 1-937, BLOCK 572, LOTS 1-939, BLOCK 573, LOTS 1-941, BLOCK 574, LOTS 1-943, BLOCK 575, LOTS 1-945, BLOCK 576, LOTS 1-947, BLOCK 577, LOTS 1-949, BLOCK 578, LOTS 1-951, BLOCK 579, LOTS 1-953, BLOCK 580, LOTS 1-955, BLOCK 581, LOTS 1-957, BLOCK 582, LOTS 1-959, BLOCK 583, LOTS 1-961, BLOCK 584, LOTS 1-963, BLOCK 585, LOTS 1-965, BLOCK 586, LOTS 1-967, BLOCK 587, LOTS 1-969, BLOCK 588, LOTS 1-971, BLOCK 589, LOTS 1-973, BLOCK 590, LOTS 1-975, BLOCK 591, LOTS 1-977, BLOCK 592, LOTS 1-979, BLOCK 593, LOTS 1-981, BLOCK 594, LOTS 1-983, BLOCK 595, LOTS 1-985, BLOCK 596, LOTS 1-987, BLOCK 597, LOTS 1-989, BLOCK 598, LOTS 1-991, BLOCK 599, LOTS 1-993, BLOCK 600, LOTS 1-995, BLOCK 601, LOTS 1-997, BLOCK 602, LOTS 1-999, BLOCK 603, LOTS 2-001, BLOCK 604, LOTS 2-003, BLOCK 605, LOTS 2-005, BLOCK 606, LOTS 2-007, BLOCK 607, LOTS 2-009, BLOCK 608, LOTS 2-011, BLOCK 609, LOTS 2-013, BLOCK 610, LOTS 2-015, BLOCK 611, LOTS 2-017, BLOCK 612, LOTS 2-019, BLOCK 613, LOTS 2-021, BLOCK 614, LOTS 2-023, BLOCK 615, LOTS 2-025, BLOCK 616, LOTS 2-027, BLOCK 617, LOTS 2-029, BLOCK 618, LOTS 2-031, BLOCK 619, LOTS 2-033, BLOCK 620, LOTS 2-035, BLOCK 621, LOTS 2-037, BLOCK 622, LOTS 2-039, BLOCK 623, LOTS 2-041, BLOCK 624, LOTS 2-043, BLOCK 625, LOTS 2-045, BLOCK 626, LOTS 2-047, BLOCK 627, LOTS 2-049, BLOCK 628, LOTS 2-051, BLOCK 629, LOTS 2-053, BLOCK 630, LOTS 2-055, BLOCK 631, LOTS 2-057, BLOCK 632, LOTS 2-059, BLOCK 633, LOTS 2-061, BLOCK 634, LOTS 2-063, BLOCK 635, LOTS 2-065, BLOCK 636, LOTS 2-067, BLOCK 637, LOTS 2-069, BLOCK 638, LOTS 2-071, BLOCK 639, LOTS 2-073, BLOCK 640, LOTS 2-075, BLOCK 641, LOTS 2-077, BLOCK 642, LOTS 2-079, BLOCK 643, LOTS 2-081, BLOCK 644, LOTS 2-083, BLOCK 645, LOTS 2-085, BLOCK 646, LOTS 2-087, BLOCK 647, LOTS 2-089, BLOCK 648, LOTS 2-091, BLOCK 649, LOTS 2-093, BLOCK 650, LOTS 2-095, BLOCK 651, LOTS 2-097, BLOCK 652, LOTS 2-099, BLOCK 653, LOTS 2-101, BLOCK 654, LOTS 2-103, BLOCK 655, LOTS 2-105, BLOCK 656, LOTS 2-107, BLOCK 657, LOTS 2-109, BLOCK 658, LOTS 2-111, BLOCK 659, LOTS 2-113, BLOCK 660, LOTS 2-115, BLOCK 661, LOTS 2-117, BLOCK 662, LOTS 2-119, BLOCK 663, LOTS 2-121, BLOCK 664, LOTS 2-123, BLOCK 665, LOTS 2-125, BLOCK 666, LOTS 2-127, BLOCK 667, LOTS 2-129, BLOCK 668, LOTS 2-131, BLOCK 669, LOTS 2-133, BLOCK 670, LOTS 2-135, BLOCK 671, LOTS 2-137, BLOCK 672, LOTS 2-139, BLOCK 673, LOTS 2-141, BLOCK 674, LOTS 2-143, BLOCK 675, LOTS 2-145, BLOCK 676, LOTS 2-147, BLOCK 677, LOTS 2-149, BLOCK 678, LOTS 2-151, BLOCK 679, LOTS 2-153, BLOCK 680, LOTS 2-155, BLOCK 681, LOTS 2-157, BLOCK 682, LOTS 2-159, BLOCK 683, LOTS 2-161, BLOCK 684, LOTS 2-163, BLOCK 685, LOTS 2-165, BLOCK 686, LOTS 2-167, BLOCK 687, LOTS 2-169, BLOCK 688, LOTS 2-171, BLOCK 689, LOTS 2-173, BLOCK 690, LOTS 2-175, BLOCK 691, LOTS 2-177, BLOCK 692, LOTS 2-179, BLOCK 693, LOTS 2-181, BLOCK 694, LOTS 2-183, BLOCK 695, LOTS 2-185, BLOCK 696, LOTS 2-187, BLOCK 697, LOTS 2-189, BLOCK 698, LOTS 2-191, BLOCK 699, LOTS 2-193, BLOCK 700, LOTS 2-195, BLOCK 701, LOTS 2-197, BLOCK 702, LOTS 2-199, BLOCK 703, LOTS 2-201, BLOCK 704, LOTS 2-203, BLOCK 705, LOTS 2-205, BLOCK 706, LOTS 2-207, BLOCK 707, LOTS 2-209, BLOCK 708, LOTS 2-211, BLOCK 709, LOTS 2-213, BLOCK 710, LOTS 2-215, BLOCK 711, LOTS 2-217, BLOCK 712, LOTS 2-219, BLOCK 713, LOTS 2-221, BLOCK 714, LOTS 2-223, BLOCK 715, LOTS 2-225, BLOCK 716, LOTS 2-227, BLOCK 717, LOTS 2-229, BLOCK 718, LOTS 2-231, BLOCK 719, LOTS 2-233, BLOCK 720, LOTS 2-235, BLOCK 721, LOTS 2-237, BLOCK 722, LOTS 2-239, BLOCK 723, LOTS 2-241, BLOCK 724, LOTS 2-243, BLOCK 725, LOTS 2-245, BLOCK 726, LOTS 2-247, BLOCK 727, LOTS 2-249, BLOCK 728, LOTS 2-251, BLOCK 729, LOTS 2-253, BLOCK 730, LOTS 2-255, BLOCK 731, LOTS 2-257, BLOCK 732, LOTS 2-259, BLOCK 733, LOTS 2-261, BLOCK 734, LOTS 2-263, BLOCK 735, LOTS 2-265, BLOCK 736, LOTS 2-267, BLOCK 737, LOTS 2-269, BLOCK 738, LOTS 2-271, BLOCK 739, LOTS 2-273, BLOCK 740, LOTS 2-275, BLOCK 741, LOTS 2-277, BLOCK 742, LOTS 2-279, BLOCK 743, LOTS 2-281, BLOCK 744, LOTS 2-283, BLOCK 745, LOTS 2-285, BLOCK 746, LOTS 2-287, BLOCK 747, LOTS 2-289, BLOCK 748, LOTS 2-291, BLOCK 749, LOTS 2-293, BLOCK 750, LOTS 2-295, BLOCK 751, LOTS 2-297, BLOCK 752, LOTS 2-299, BLOCK 753, LOTS 2-301, BLOCK 754, LOTS 2-303, BLOCK 755, LOTS 2-305, BLOCK 756, LOTS 2-307, BLOCK 757, LOTS 2-309, BLOCK 758, LOTS 2-311, BLOCK 759, LOTS 2-313, BLOCK 760, LOTS 2-315, BLOCK 761, LOTS 2-317, BLOCK 762, LOTS 2-319, BLOCK 763, LOTS 2-321, BLOCK 764, LOTS 2-323, BLOCK 765, LOTS 2-325, BLOCK 766, LOTS 2-327, BLOCK 767, LOTS 2-329, BLOCK 768, LOTS 2-331, BLOCK 769, LOTS 2-333, BLOCK 770, LOTS 2-335, BLOCK 771, LOTS 2-337, BLOCK 772, LOTS 2-339, BLOCK 773, LOTS 2-341, BLOCK 774, LOTS 2-343, BLOCK 775, LOTS 2-345, BLOCK 776, LOTS 2-347, BLOCK 777, LOTS 2-349, BLOCK 778, LOTS 2-351, BLOCK 779, LOTS 2-353, BLOCK 780, LOTS 2-355, BLOCK 781, LOTS 2-357, BLOCK 782, LOTS 2-359, BLOCK 783, LOTS 2-361, BLOCK 784, LOTS 2-363, BLOCK 785, LOTS 2-365, BLOCK 786, LOTS 2-367, BLOCK 787, LOTS 2-369, BLOCK 788, LOTS 2-371, BLOCK 789, LOTS 2-373, BLOCK 790, LOTS 2-375,



The Retreat Phase 30

Variance Request

Johnson County C

- | | |
|--|--|
| 1. Reduce the Pavement Width to 20'. | All Roads Inside Subdivision will have a Minimum Paved Surface of Twenty-Two (22) Feet. |
| 2. Exceed the Maximum Roadway Gradient of 10%. | The minimum Gradient for a Subdivision Street shall be Four-Tenths (0.40) Percent and the Maximum Gradient shall be Ten (10) Percent for Streets with Open Bar Ditches and the Maximum Gradient on Curb and Gutter Streets shall be determined by the Engineer Designing the Street for the Public Safety of Persons using the Street. |
| 3. Reduce the Utility and Drainage Easements along the Front and Rear of all Lots from 15 Feet to 10 Feet. | Utility Easements of not Less than Fifteen (15) Feet shall be Provided on the Front and Back Lot Lines. |
| 4. Place the Water Lines within the Right-Of-Way. | Water Lines are to be Located in the Front Easement. |
| 5. Not to Place Sewer Lines Under the Middle of the Street. | Sewer Lines are to be Located in the Middle of the Street.
Culverts shall be Constructed of Corrugated Metal unless otherwise Approved by Public Works Department and the Commissioner in that Precinct. |
| 6. Use of HDPE Pipe for Storm Sewer Culverts. | The Owner shall not Sell any Lots in the Subdivision until the Plat Application is Approved by the Commissioners Court; and...All Utility Construction is Complete. |
| 7. Conveyance of Lots prior to Electric Service Installation. | |

Current Regulation

Reference Section IX, General Road and Street Specifications, C) Requirement for Street Pavement, (9) Paved Surface, Page 48.

Reference Section IX, General Road and Street Specifications, A) Street Specifications, (1) Page 48.

Reference Section IV, Requirements for Plat Application, 8) Utility Service, Page 24.

Reference Section IV, Requirements for Plat Application, 8) Utility Service, Page 24.

Reference Section IV, Requirements for Plat Application, 8) Utility Service, Page 24.

Reference Appendix A, D) Storm Drainage Design Criteria, (5) Culverts, Page 71.

Reference Section VI, General Requirements. L) Sale of Lots, (1) Page 37.